

Community Relations Plan

Dominick Andujar Park
Erie and Point Streets
(Block 12, Lots 1, 3-9, 18-21 and Block 14, Lots 29-35 and 37)
Camden, New Jersey

US Environmental Protection Agency
Cooperative Agreement No. BF 962869814

MARCH 2021

Prepared by BRS, Inc. for the

The City of Camden
520 Market Street
City Hall
Camden, New Jersey

COMMUNITY RELATIONS PLAN

**Dominick Andujar Park
Erie and Point Streets
(Block 12, Lots 1, 3-9, 18-21 and Block 14, Lots 29-35 and 37)
Camden, New Jersey
US Environmental Protection Agency Brownfields Revolving Loan Fund
Cooperative Agreement No. BF 962869814**

Overview

This Community Relations Plan (CRP) was prepared by Brownfield Redevelopment Solutions, Inc. for the City of Camden. Dominick Andujar Park (Andujar Park) is located at the intersection of Erie and Point Streets, comprising approximately 1.5 acres across Block 12, Lots 1, 3-9, 18-21 (the Northern Portion) and Block 14, Lots 29-35 and 37 (the Southern Portion) as set forth on the the City of Camden for Tax Maps. The site is a public park in North Camden owned by the City of Camden. The Camden Redevelopment Agency (CRA), on behalf of the City, will promote and facilitate community involvement with the environmental cleanup and site redevelopment project.

The USEPA has awarded the City of Camden with a Revolving Loan Fund (RLF) grant in the amount of \$200,000 to assist with the environmental remediation of sites throughout the City. The City of Camden and the USEPA have entered into a cooperative agreement, which provides the terms and conditions for the City of Camden's use of the RLF funds. In accordance with the Environmental Cleanup Requirements of the cooperative agreement, the City of Camden has prepared this CRP. Though this project has been funded, in part, by the EPA, the contents of this document do not necessarily reflect the views and policies of the EPA.

The purpose of this CRP is to present the strategies that the City of Camden has employed to date and will employ going forward to facilitate communications with, and involvement of, the residents of Camden, City officials, local organizations, and other stakeholders during the process of environmental cleanup at Andujar Park. The CRP is particularly aimed at the informational needs of City residents who are potentially directly affected by the proposed cleanup action and redevelopment of the property.

The CRP and the activities described herein are intended to comply with:

- 1) The Notification and Public Outreach regulations and guidance of the New Jersey Department of Environmental Protection (NJDEP), which provides regulatory oversight to the project, as found in N.J.A.C. 7:26C-1.7.
- 2) The Community Relations and Public Involvement requirements of the governing cooperative agreement.

The CRP is prepared in accordance with EPA guidance¹ and the governing EPA Cooperative Agreement. The CRA is primarily responsible for implementing community relations pertaining to the site.

Spokesperson and Information Repository

The spokesperson for this project is:

Olivette Simpson
Interim Executive Director, Camden Redevelopment Agency
Camden Redevelopment Agency
520 Market Street, City Hall-Suite 1300
Camden, NJ 08101
Tel: (856) 757-7600
Fax: (856) 968-3541
OISimpso@ci.camden.nj.us

The administrative record file/information repository is located at the City of Camden/CRA Office and is available to review by appointment during business hours. Ms. Simpson may be contacted at 856-757-7600 or OISimpso@ci.camden.nj.us to schedule a review of the file. Files will be made available via website at: <http://camdenredevelopment.org>.

The information repository includes the following documents related to environmental assessment and remediation of the project site:

- Community Relations Plan (CRP)
- Analysis of Brownfields Cleanup Alternatives
- Decision Document
- Documentation of Public Outreach
- Environmental Assessment Reports
- Remedial Action Workplan

Site Description and History

Historic manufacturing and industrial operations began onsite prior to 1874 and continued until 1977. Operations included a tannery, a machine shop, boat building, chain manufacturing, and bottling works. The majority of the industrial operations were located on the northern portion of the site on Block 12, Lot 1. Fire destroyed the Allied Kid Company tannery in the 1970s and the buildings were demolished.

The site is currently a public park containing a baseball field, basketball court, and play area located in a mixed use industrial and residential portion of Camden, New Jersey. The subject site is bordered by residential properties on the eastern and western sides and enclosed by four (4) streets; Point Street to the west, Erie Street to the north, York Street to the south and North Front Street to the east. Block 12 and Block 14 are separated by an alley (North Street).

¹ “Guidelines for Brownfields Cleanup Grants,” EPA-OSWER-OBLR-12-09 (EPA, 2012).

The Northern Portion of the park includes Block 12, Lot 1 with an approximately 0.56-acre baseball field and remaining unimproved vegetated land (approximately 0.25 acres). Block 12, Lots 3-9 (approximately 0.15 acres), and Block 12, Lots 18-21 (approximately 0.02 acres) are all unimproved vegetated parcels. A stormwater basin overgrown with vegetation is also located on Block 12, Lots 3-9.

The Southern Portion of the park includes Block 14, Lots 29-35 and 37 with an approximately 0.45-acre playground and park on the western portion. The remaining 0.05 acres is unimproved vegetated land on the southeastern corner.

The redevelopment activities for the property include improvements for the installation of new playground equipment, open public space, green infrastructure and recreational ballfields. The park has been closed since assessment and investigation activities were conducted in 2019. As this is a priority site, the proposed work is being streamlined with further assessment and remediation performed in parallel.

Nature and Threats to Public Health and the Environment

The former operations at the site were known to utilize hazardous substances and petroleum. A Preliminary Assessment (PA) inspection was completed in June 2018 and the PA Report was submitted to the Camden Redevelopment Agency (CRA) and EPA in July 2018. Subsequent assessment activities conducted on the site in 2019 using a CRA 2013 EPA Brownfield Assessment grant identified 18 “Areas of Concerns” or AOCs with potential to adversely impact soil and groundwater at the site. A total of 17 of the AOCs required further investigation. A Site Investigation (SI) was completed in August 2019 to investigate the 17 AOCs.

The general subsurface conditions on the northern portion of the site consist of 0.5 feet of topsoil over a layer of ash, brick, timbers, and glass, which extends to a depth of approximately 5 feet below grade. The source of the ash, brick, timber, and glass layer is presumed to be from the former buildings that were onsite. The buildings were demolished, and the debris was buried under a shallow layer of topsoil. The ash, brick, timber, and glass material is being classified as historic fill material. The historic fill material is impacted with lead, mercury, arsenic, dieldrin, beryllium, benzo(a)anthracene, benzo(a)pyrene, and benzo(b)fluoranthene. Aroclor 1254 (PCB) exceedances were identified in samples collected in the location of the former tannery. PCBs are considered a contaminant associated with historic fill in the geographic region where Andujar Park is located.

An approximately 10,000-gallon heating oil UST is located under the right field portion of the baseball field on Block 12, Lot 1. Stained soils and soils impacted with EPH were identified adjacent to the UST. Individual contaminants related to the UST release include benzo(a)anthracene, benzo(a)pyrene, benzene, and 2-methylnaphthalene. Removal of the UST and petroleum impacted soils is necessary.

Elevated levels of hexavalent chromium were detected below the former tannery building. Hexavalent chromium is not typically associated with historic fill in Camden. Hexavalent chromium is a known contaminant from tannery operations. Additional remedial investigation for hexavalent chromium impacts is necessary.

Surficial soils in the area of the former coal storage yard are impacted with lead, mercury, cadmium, benzo(a)anthracene, benzo(a)pyrene, benzo(b)fluoranthene, and dibenz(a,h)anthracene. Previous surficial samples returned elevated levels of dibenzo(a,h)anthracene, indeno(1,2,3-cd)pyrene, benzo(a)anthracene, benzo(a)pyrene, benzo(b)fluoranthene, arsenic, and PCBs. Additional surficial investigation of soils is necessary.

No active remediation activities are required for the Southern Portion of the site. The planned remediation for Andujar Park includes UST Removal with Hot Spot Soil Removal on the Northern Portion of the site. Soil excavation is a proven method, environmentally effective and productive for long term, community-wide use. Soil excavation and UST removal as proposed eliminates direct contact with contaminants and removes the source of petroleum impacted groundwater. The Site work will employ dust production and measures to control runoff as may be required. As part of the construction of improvements for the Northern Portion, a soil cap will likely be installed. This soil cap is unlikely to be funded with EPA money.

Although limited contamination may still exist, the eventual cap will significantly reduce the potential of human exposure. As the site will likely be owned by the City in perpetuity, the general public will be provided notice of site environmental conditions by means of the Deed Notice for the eventual soil cap upon completion of remediation activities.

Community Profile

Camden is home to many sensitive populations living amongst brownfield sites, including minorities and non-English speaking residents. According to the 2006-2010 American Community Survey 5-year estimates, Camden includes a minority population more than three times the national average and nearly three times the state average. The City is also home to large non-English speaking population; almost double that exhibited across the nation. These residents contend with the inequitable distribution of environmental burdens such as the location of major highways, an incinerator plant, the county sewage treatment plant, and water quality challenges associated with century's old combined sewer systems. The abundance of brownfield sites diminish quality of life, burden strained resources and pose potential health hazards to the city's families.

Brownfield sites throughout the City of Camden tend to be smaller (three to five acres in size or less). Brownfield sites in Camden are interspersed with residential clusters as workforce housing sprang up around the factories of the late 1800s. Since that time, land use planning approaches have evolved. There is a need to harness, remediate, and reorganize the existing patchwork of brownfield properties to eliminate exposure to contamination for the surrounding residential population.

Chronology of Community Involvement

The USEPA RLF grant proposal for the CRA, was developed in an open manner with input and involvement of community groups. The following were ways in which the EPA grant process, as it pertains to this site, was made available to the public:

- Public Legal Notice was posted in the *Courier Post* (October 25, 2012);
- Open Public Meeting was hosted at Camden City Hall, Conference Room (November 8, 2012) to discuss grant applications; and
- Fact sheets about the grant were distributed to various interested community groups.

Site Specific Community Involvement activities have included:

- Community Meeting on November 12, 2020 (virtual) to discuss Andujar Park site specifics, proposed cleanup activities, proposed construction, and solicit public comments of the cleanup. Spanish translation was available if needed. Comments regarding the proposed cleanup activities were heard and addressed as documented in the Final Analysis of Brownfield Cleanup Alternatives document;
- Community Meeting on February 18, 2021 (virtual) to discuss Andujar Park scheduled construction activities on the Southern Portion, updates for the Northern Portion remediation schedule, and to solicit public comments regarding the redevelopment design of the Northern Portion. Spanish translation was requested and provided during the meeting; and
- Subsequent community meetings for design / construction solicitation as well as address issues that may arise during the course of the EPA funded cleanup efforts.

An information repository to contain all environmental reports related to each respective site has been established at the City of Camden office, and will remain in place throughout the remediation project. Files will be made available via website at: <http://camdenredevelopment.org>.

Prior to remediation construction, specific community notification is required. City of Camden will ensure compliance with New Jersey Department of Environmental Protection (NJDEP) public notification requirements. Signs will be erected at the site to notify the public of the environmental work in progress on the site and provide contact information for responsible agencies in the event that any issues or questions arise regarding the work. As part of the public involvement, the City of Camden also identifies those sensitive populations around the site, and will provide public notification (both English and Spanish language signage) regarding any investigation or cleanup activities to all sensitive populations, owners, and tenants within 200 feet of the site through letters or neighborhood signage.

By preparing and implementing this Community Relations Plan, the City of Camden has also ensured compliance with EPA's Public Involvement requirements.

Key Community Concerns

The Site is being investigated and remediated through the Site Remediation Program of the State environmental authority, the NJDEP. The site remediation will be conducted with the oversight of a New Jersey Licensed Site Remediation Professional (LSRP), retained by the City of Camden. Upon completion of the remedial action, the LSRP will issue a Response Action Outcome (RAO) indicating that the risk based standards set out by the State have been met. Receipt of the RAO will certify that the LSRP determined that the completed remediation was complied with all applicable laws and regulations and will be deemed protective of human health and the environment. The LSRP will ensure that the selected site remedy will address any contamination identified in order to be protective of human health and the environment by eliminating any exposure pathways.

To ensure that no adverse environmental impact occurs during the actual cleanup, as needed, air monitoring will be conducted, dust suppression measures will be implemented and sediment erosion controls will be put in place, as may be required.

The City of Camden will continue to work with the community regarding the remediation and redevelopment by attending local community meetings as well as meeting with community leaders to ensure the public is aware of the remediation and has the opportunity to raise any concerns during the implementation of the workplan. The City of Camden's designated contact person will continue to be available to answer any questions citizens or reporters may have as activities progress at the site. The information repository will continue to be updated with the inclusion of all meeting minutes, status reports and other documents as appropriate.

Continued Community Involvement

The City of Camden and other project stakeholders will continue to seek community input as the project progresses, particularly with the design efforts for the Northern Portion of the park. Any significant changes to development agreements, permits, or remediation plans will be discussed at the CRA monthly board meetings and will be advertised on the CRA website, which also includes an archive of previous meeting agenda, resolutions, and minutes. Any changes will also be documented in the administrative record file.

The CRA will maintain the administrative record file to reflect the status of the cleanup, public comments, response to public comments, and other significant decisions regarding environmental remediation.

ATTACHMENT 1. Site Layout

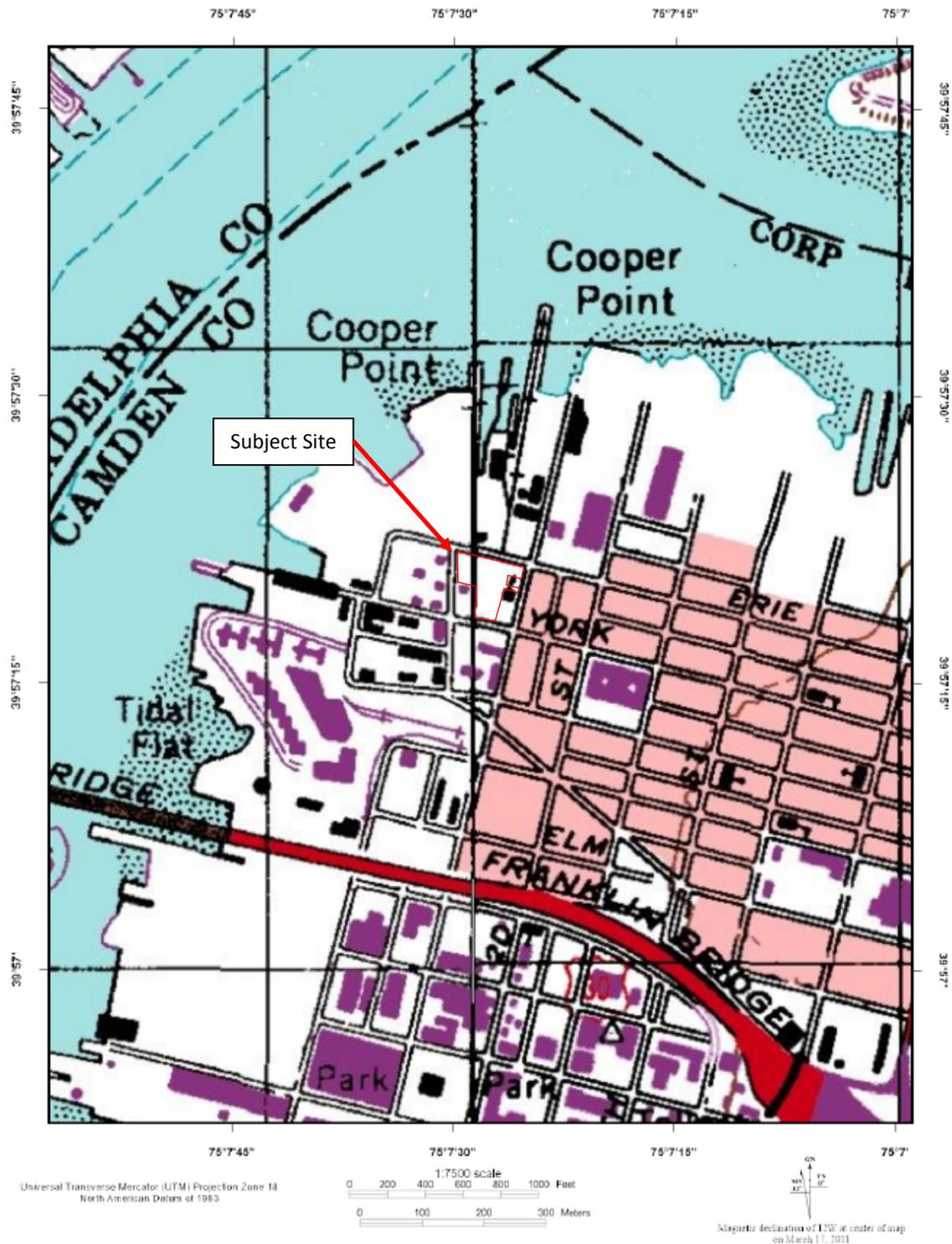


Figure 1.0:

Regional Site Location Map

Andujar Park
 Erie and Point Street
 Block 12, Lots 1, 3, 17 & 18
 Block 14, Lot 29
 Camden, Camden County, New Jersey 08102



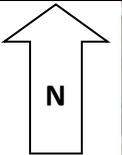
TTI Environmental, Inc.
www.ttienv.com

SCALE	DRAWN BY	DATE
As Shown	USGS	6/2018
PROJECT	APP'D BY	DRAWING NO.
18-360	DD	1.0



Figure 2.0:
Site Diagram

Andujar Park
 Erie and Point Street
 Block 12, Lots 1, 3, 17 & 18
 Block 14, Lot 29
 Camden, Camden County, New Jersey 08102



TTI Environmental, Inc.
www.ttienv.com

SCALE	As Shown
PROJECT	18-360

DRAWN BY	DD
APP'D BY	DD

DATE	6/2018
DRAWING NO.	2.0

ATTACHMENT 2. Summary of Public Comments and Responses

New-home sales rise in Sept.

By Christopher S. Rugaber
Associated Press

WASHINGTON — U.S. sales of new homes jumped last month to the highest level in more than two years, further evidence of a sustained housing recovery that could help lift the lackluster economy.

The Commerce Department said Wednesday that new home sales rose 5.7 percent in September to a seasonally adjusted annual

rate of 389,000. That's up from a rate of 368,000 in August and the highest rate since April 2010, when a federal homebuyer tax credit inflated sales.

Sales have risen 27.1 percent in the past year. That's the strongest yearly gain since February, although sales are still well below healthy levels.

The figures suggest the housing recovery is strengthening. The increase follows other reports that show home prices are rising more con-

sistently, builders are starting to build more homes and sales of previously occupied homes are up in the past year.

Faster construction could help boost economic growth and hiring. And it could also encourage more people to put their homes on the market.

For now, rising sales are keeping inventories low. There were 145,000 new homes for sale at the end of September, near the record low of 143,000. That level of inventory would be

exhausted in 4.5 months at the current sales pace, the lowest level since October 2005. That could push up home prices in the coming months, economists said.

Builders are taking steps to change that. In September, they broke ground on single-family homes and apartments at the fastest pace in more than four years.

And they requested the most building permits in four years, a sign that many are confident that the gains in home sales will

endure. Higher new home sales seem "to have largely justified the 11 percent jump in September housing starts," Pierre Ellis, an economist at Decision Economics, said.

The median price of a new home fell 3.2 percent in September to \$242,400. But the median price has risen 11.7 percent in the past year.

On a regional basis, sales rose in the Northeast, South and West, but fell sharply in the Midwest.

Scam

Continued from Page 8B

In a news release issued Wednesday, B&N said the criminals planted bugs in the tampered devices, allowing for the capture of credit card and PIN numbers.

The company said the problem was discovered last month and all affected PIN pads were shut off by Sept. 14. It did not say how long they were in use before they were discovered.

B&N said that it's continuing to work with federal law enforcement and with banks, payment card brands and issuers to identify accounts that may have been compromised, so that additional fraud-protection measures can be taken.

Customers at its book stores will now have to ask cashiers to swipe credit or debit cards on card readers connected to cash registers, a process that is secure, Barnes & Noble said.

Anything bought on Barnes & Noble.com or with the chain's Nook devices and app were not affected, the company said. It also said its customer database is secure.

Barnes & Noble is only the latest major retailer to be a victim of a serious data breach. In one of the largest, more than 45 million credit and debit cards were exposed to possible fraud because of hackers who broke into the computer system of TJX Cos., the parent company of retailers T.J. Maxx and Marshall's, starting in 2005.

US Airways nets record \$245M

Associated Press

DALLAS — US Airways turned in a strong performance during a three-month stretch that covers much of the peak summer vacation season.

Net income for the third quarter was a record \$245 million, or \$1.24 per share, compared with \$76 million, or 41 cents per share, a year earlier, the airline said Wednesday.

The results are especially important to US Airways Group Inc. as it pursues a merger with American Airlines.

US Airways, the nation's fifth-biggest airline, is trying to impress American's creditors that a combined company would

be more successful than American can become on its own.

Revenue rose 3 percent to \$3.53 billion but fell short of analysts' expectations of \$3.55 billion.

In other earnings news: Drugmaker Bristol-Myers Squibb Co. posted a rare loss in the third quarter as U.S. sales hemorrhaged due to new generic competition to blood thinner Plavix and the company took a big charge for a failed research project. The company slashed its profit forecast for the full year.

The maker of diabetes drug Onglyza said Wednesday that it lost \$711 million, or 43 cents per share.

Fraud

Continued from Page 8B

high rate of defaults. The standards were low, according to the lawsuit: If a review found that the income a borrower listed on his application seemed unreasonable, an employee could rebut the finding "simply by arguing that the stated income was reasonable."

The lawsuit gives seven examples of mortgages made for homes in California, Alabama, Florida and Georgia in which the borrowers' income and other qualifications were falsified.

For example, one loan application, for a home in Miami, said the borrower was an airline sales representative earning \$15,500 per month, when the borrower worked for a temp agency and earned \$2,666



Bank of America was sued for more than \$1 billion on Wednesday for mortgage fraud. ASSOCIATED PRESS FILE

per month. The borrower defaulted within seven months, the suit said.

A loan application for a home in Birmingham, Ala., failed to disclose \$81,000 in debt that the borrower was carrying. That borrower defaulted within a year, the suit said.

The lawsuit accused Countrywide, and later Bank of America, of sell-

ing thousands of Hustle loans to Fannie and Freddie. The lawsuit says that the Hustle program continued through 2009.

According to the lawsuit, Fannie and Freddie didn't review loans before they purchased them. Instead, they relied on banks' statements that the loans met certain qualifications.

Legal Notices

2010

PUBLIC NOTICE

The Township of Gloucester will hold a public sale of surplus vehicles and equipment on Saturday, November 10, 2012 at 10:00 A.M. at the Public Works Building, located at 1729 Erial Road, Blackwood NJ (Route 706, approximately miles south of the Little Gloucester/Erial Road traffic signal)

ITEM ID#	DESCRIPTION	MIN. BID
1998	Oldsmobile Intrigue	1G3WH52H5XF367065 500.00
2001	Cadillac Deville	1G6KD54Y31U154211 1,000.00
2001	Pontiac Grand Am GT	1G2NV52E81C260681 1,000.00
2000	Ford Crown Vic	2FAFP71W1YX178987 1,000.00
2005	Ford Crown Vic	2FAFP71W65X109692 1,000.00
2007	Ford Crown Vic	2FAFP71W27X125696 1,000.00
2005	Ford Crown Vic	2FAFP71W65X109689 1,000.00
1998	Ford Crown Vic	2FAFP71W4WX177331 1,000.00
2004	Ford Crown Vic	2FAFP71W64X104085 1,000.00
2004	Ford Crown Vic	2FAFP71W74X104080 1,000.00
2004	Ford Crown Vic	2FAFP71W4X104087 1,000.00
2005	Ford Crown Vic	2FAFP71W66X102405 1,000.00
2005	Ford Crown Vic	2FAFP71W25X109690 1,000.00
1998	Ford Crown Vic	2FAFP71W1WX177335 1,000.00
2005	Ford Crown Vic	2FAFP71W16X102408 1,000.00
1999	Ford Crown Vic	2FAFP71W8XX194120 1,000.00

ITEM ID#	DESCRIPTION	MIN. BID
2000	Ford F150	1FTZF1728YNA88538 1,000.00
1988	Dodge Ram van	2B5WB31W1JK156680 500.00
1994	Dodge - Ram 350	2B7K B31Y5RKC561248 500.00
1995	Ford Elgin Street Sweeper	1FDXH70C25VA18575 2,000.00
1994	Ford - Cabover	1FDXD84N5EVA225960 1,000.00
1993	International - DT466	1HTSDPNNR5PH532100 2,000.00
1993	International - DT466	1HTS0PPN1RH549165 2,000.00
1993	International - DT466	1HTSDPNNR7PH532101 2,000.00
1995	International - DT466	1HTSDAAN95H627963 2,000.00

ITEM ID#	DESCRIPTION	MIN. BID
Toro	Groundsmaster 455-D - Mower	30450-80157
Toro	Groundsmaster 455-D - Mower	30450-220000136
Toro	Groundsmaster 455 -D- Mower	30450-210000134
Exmark	Lazer ZXS 72" mower	LX525K D725
Bobcat	92210200256	92210200256
Echo	Hedge Trimmer HC-1600	011919
Echo	SRM - 2400 Weedwacker	608053
Echo	SRM - 2400 Weedwacker	608109
Echo	SRM - 2400 Weedwacker	608099
Echo	SRM - 230 - Weedwacker	573112059805
Echo	SRM - 230 - Weedwacker	05082099
Echo	SRM - 230 - Weedwacker	05082094
Echo	SRM - 230 - Weedwacker	05169325
Echo	SRM - 230 - Weedwacker	05037465
Echo	PB - 650 Back Pack Blower	03032426
Echo	PB - 600 Back Pack Blower	504454

ITEM ID#	DESCRIPTION	MIN. BID
Snap On	E2WH303A Tire Machine	0602 6024193117
Snap On	731 Air Bottle Jack	No serial number
Reelcraft	L450 162 2 - Drop Light Reel	040297-378
Reelcraft	L450 162 2 - Drop Light Reel	040297-378

ITEM ID#	DESCRIPTION	MIN. BID
Hi Way	PB V-Box Salt Spreader	122375
Ford	4.6 Liter Ensign Complete	040297-378
ETG	Diesel Power Genbenator DG4LE	CG74103279
Windsor	Compact 20 Floor cleaner	050307
Scotchlite	Sign Making Machine	3787

ITEM ID#	DESCRIPTION	MIN. BID
Desks	(5)	
File Cabinets	(5)	
Gemicon 4480 XT Printers	(2)	
RCA Camcorder	(1)	
Computer Monitors, Printers and Parts	(5)	
5 Foot Office Partitions	(5)	
Panasonic CF28 Toughbook Laptop Computers WITHOUT hard drives (37)		
Window bars for Ford Crown Victoria Police Vehicles (5 sets)		
Rear Security cages for Crown Victoria Police Vehicles (5)		
Computer base mounts for Ford Crown Victoria Police Vehicles (10)		
Docking Stations for CF28 laptop computers (10)		
Various Home Electronics		
Miscellaneous Items		
Bicycles (10)		

All sales are final and sold AS IS. Gloucester Township reserves the right to withdraw any item prior to the sale. A complete list is available in the Office of the Township Clerk. All purchases must be removed immediately after sale from Township property. Special conditions, if required, will be announced prior to the start of the sale. All items may be inspected at the Public Works Building prior to the sale starting at 9: 00 A.M. on November 10, 2012. (\$122.76)

TOWNSHIP OF EDGEWATER PARK

ORDINANCE NO. 2012-8

AN ORDINANCE OF THE TOWNSHIP OF EDGEWATER PARK PROVIDING FOR AND DETERMINING THE RATES OF COMPENSATION FOR EMPLOYEES FOR THE YEAR 2012

BE IT ORDAINED AND ENACTED by the Township Committee of the Township of Edgewater Park, County of Burlington, State of New Jersey, as follows:

Section 2.20.010 The annual rates of compensation of officers and employees whose compensation shall be payable bi-weekly shall be as follows:

POSITION	SALARY RANGE
Administrator	\$25,000 - \$30,000
Municipal Clerk	\$56,000 - \$65,500
Deputy Township Clerk	\$10,000 - \$20,000
Recycling Coordinator	\$ 4,200 - \$ 5,500
*Principal Clerk Typist	\$21,000 - \$41,500
*Senior Clerk Typist	\$21,000 - \$39,000
*Clerk Typist	\$21,000 - \$37,500
Part-time Clerk Typist	\$10.00 - \$15.00 (per hour)
Registrar-Vital Statistics	\$1,100 - \$1,300
Deputy Registrar-Vital Statistics	\$ 600 - \$ 800
*Police Records Clerk	\$21,000 - \$37,500
*Senior Police Records Clerk	\$21,000 - \$40,500
*Principal Police Records Clerk	\$37,300 - \$51,000
Secretary, Board of Health	\$ 900 - \$1,100
Chief Financial Officer	\$40,000 - \$60,000
Tax Collector	\$40,000 - \$60,000
Tax Assessor	\$ 5,000 - \$22,000
Municipal Court Judge	\$ 7,000 - \$22,000
*Court Administrator	\$10,000 - \$15,000
*Deputy Court Administrator	\$21,000 - \$37,500
Court Recorder	\$50 - \$150 per session
Court Attendant	\$75 - \$150 per session
Construction Official	\$10,000 - \$15,000
(Over Base Hours)	\$25 - \$30 per hour
Building Inspector & Sub Code Official	\$10,000 - \$15,000
(Over Base Hours)	\$25 - \$30 per hour
Property Maintenance/Rental Licensing Insp.	\$10,000 - \$30,000
Property Maintenance/Rental Lic Insp(Hourly)	\$10 - \$25 per hour
Zoning Officer	\$3,000 - \$10,000
	\$10 - \$25 per hour
Plumbing Inspector	\$23 - \$30 per hour
Electrical Inspector	\$23 - \$30 per hour
Fire Sub Code Official	\$23 - \$30 per hour
Streets Superintendent	\$50,000 - \$79,500
Streets Repairer/Laborer	\$21,000 - \$53,500

(continued next column)

Legal Notices

2010

(continued from previous column)

POSITION	RATE
Streets Repairer/Laborer (Hourly)	\$ 10 - \$ 17 per hour
Part-time Public Works	\$10 - \$17 (Per Hour)
Grounds Keeper/Driver/Snow Plow Operator	\$ 1,000 - \$ 2,500
Streets Repairer/Laborer-Additional Duties	\$90,000 - \$106,500
Chief of Police	\$73,500 - \$85,000
Lieutenant	\$70,250 - \$81,000
Sergeant	\$41,500 - \$74,500
Patrolman	\$1 - \$25 (Per Hour)
Special Police Officer	\$ 25 - \$75
Police Matron: Per Call Out	
Crossing Guards	
Substitute	\$14.00 - \$20.00 per post
Classified/Unclassified	\$14.00 - \$30.50 per post

SECTION 2:2-2. The annual rates of compensation of officers and employees whose compensation shall be paid quarterly shall be as follows:

POSITION	RATE
Township Mayor	\$ 1 - \$3,934
Township Committee	\$0 - \$3,147
Court Administrator/Deputy Court Administrators	\$3,000 - \$10,000

SECTION 2:2-3. The annual rates of compensation of officers and employees whose compensation shall be payable annually shall be as follows:

POSITION	RATE
Member, Board of Health	\$50

SECTION 2:2-4. The compensation of officers and employees whose compensation shall be payable upon completion of said duty and approval by respective Chairperson:

POSITION	RATE
Secretary, Planning Board	\$ 100 - \$150 (per meeting)

SECTION 2:2-5. The rates of compensation of employees whose compensation falls within a variable range shall be fixed by resolution from time to time.

SECTION 2:2-6. Longevity payments shall be in accordance with respective contracts.

SECTION 2:2-7. The rates of compensation for professionals appointed by Township Committee at its reorganization meeting are as follows:

POSITION	RATE
Solicitor - \$34,000 per year (Base Amount); (support services based on fee schedule)	
Special Counsel/Bond Counsel - (Principal \$130 per hour); support services based on fee schedule	
Labor Counsel - (Principal \$170 per hour); support services based on fee schedule	
COAH Counsel - (Partner \$175 per hour); support services based on fee schedule	
Engineer - (Principal \$110 - \$140 per hour); support services based on fee schedule	
Special Engineer - (Principal \$140 per hour); support services based on fee schedule	
Auditor - \$28,000 (Base Amount) (support services based on fee schedule)	
Prosecutor - \$375.00 (per session); (support services based on fee schedule)	
Public Defender - \$375.00 (per session); (support services based on fee schedule)	
Risk Manager - (4% of annual assessment); (support services based on fee schedule)	

SECTION 2:2-8. This ordinance shall take effect immediately upon its final passage and publication according to law, but the terms of compensation provided herein shall be effective as of January 1, 2012 through December 31, 2012 for employees and shall apply only to those persons in employment or professional services rendered at the date of adoption of this ordinance. This ordinance is intended to repeal all prior ordinances other than stipulated above and will stay in effect until amended or repealed.

NOTICE The foregoing was introduced by the Edgewater Park Township Committee at its meeting held on October 16, 2012. This ordinance will be considered for adoption of final reading and public hearing to be held on November 20, 2012 at 7:30 PM, or shortly thereafter, and place to which such meeting may be adjourned, in the Municipal Building, 400 Delanco Road, Edgewater Park, New Jersey. At which time and place all persons interested will be given an opportunity to be heard concerning said Ordinance. During the week prior to and up to and including the date of such meeting, copies of said ordinance will be made available at the Clerk's office to the members of the general public who shall request the same.

Linda M. Dougherty, R.M.C., Municipal Clerk/Administrator (1603864)

Legal Notices

2010

NOTICE OF PUBLIC HEARING

PLEASE TAKE NOTICE:

THAT THE UNDERSIGNED has filed an appeal with the Zoning Board of Adjustment of the City of Camden for a variance from the requirements of the Zoning Ordinance to PERMIT:

- An emergency backup generator for a single family home

AT PREMISES: 1127 North 35th Street Camden, NJ 08105

AND This notice is sent to you as an owner of property in the immediate vicinity. A PUBLIC HEARING has been scheduled for

November 5, 2012

AT 5:30pm IN THE CITY COUNCIL CHAMBERS, SECOND FLOOR, CITY HALL, SIXTH AND MARKET STREETS, CAMDEN, NEW JERSEY and when this matter is called you may appear in person with an Attorney and present any support or objection that you may have to the granting of the relief sought in the appeal.

Subject application is on file and available for inspection in the Office of Zoning Board, Room 430, City Hall, Sixth and Market Streets, Camden, New Jersey.

South Jersey Behavioral Health Resources, Inc. APPLICANT

DATE: October 15, 2012 (1603823) (\$31.68)

Legal Notices

2010

Notice is hereby given that on 11/14/12 at 11:00am at CubeSmart (#552) 1820 Frontage Road, in the City of Cherry Hill, State of New Jersey the undersigned, CubeSmart (#552) will sell at Public Sale by competitive bidding, the personal property heretofore stored with the undersigned:

"All items in storage units contain household items unless otherwise mentioned."

Mandy Zeitz Unit # 1409 (1603431) (\$21.12)

Public Notice US Environmental Protection Agency Brownfields Grant Applications

The Camden Redevelopment Agency (CRA) is applying for US Environmental Protection Agency (EPA) Brownfields Grants to investigate and clean up sites in the City of Camden. In accordance with EPA's community notification policies, a community meeting is being held to discuss the grant applications and to solicit public comments on the applications and the proposed use of funds. The meeting will be held on November 8, 2012 at 5:00 PM in the CRA's office located at Camden City Hall, 520 Market Street, 13th Floor. Copies of the grant applications, including the draft EPA Required Analysis of Brownfield Cleanup Alternatives documents that are part of the cleanup grant applications, will be available for public review and comment in the CRA's office during normal business hours. For more information on reviewing the grant proposals or the meeting, contact James Harveson of the Camden Redevelopment Agency at (856) 757-7600 or Beth Linder of Brownfield Redevelopment Solutions at (646) 246-9246. (1603961) (\$22.44)

Legal Notices

2010

BURLINGTON COUNTY COLLEGE PEMBERTON, NEW JERSEY 08068

Request for Proposals To Provide Interpreting Services

NOTICE IS HEREBY GIVEN that sealed proposals and qualification statements will be received by Burlington County College, Pemberton, New Jersey, for "Interpreting Services" Proposal #13-06-P. The College is requesting that vendors respond to this proposal for interpreter services for Calendar Year 2013.

Copies of the bid document may be requested, in person, by mail, by emailing (lwmarlin@bcc.edu) or by calling (609) 894-9311 extension 1314. Our address is Burlington County College, Administrative

**CITY OF CAMDEN REDEVELOPMENT AGENCY
US ENVIRONMENTAL PROTECTION AGENCY
BROWNFIELDS GRANT APPLICATIONS
PUBLIC MEETING**

**CITY HALL, 13TH FLOOR CONFERENCE ROOM
NOVEMBER 8, 2012 5:00-6:00 PM**

MEETING MINUTES

Meeting Host: City of Camden Redevelopment Agency

Discussion

James Harveson, Director of Economic Development for the City of Camden Redevelopment Agency (CRA), provided attendees with information regarding the Agency's US Environmental Protection Agency brownfields grant applications due December 3rd, including:

- Three Harrison Avenue Landfill Cleanup Grants
- Two Community-Wide Assessment Grants
- One Revolving Loan Fund Grant

There were two attendees present in addition to Mr. Harveson. The other two attendees were from the City of Camden and Cooper's Ferry Partnership.

The meeting began with a discussion of the plan for the Harrison Avenue Landfill project, which is to be redeveloped as the Kroc Community Center. Mr. Harveson led a discussion regarding the plan for remediation of the site. The CRA will be seeking EPA Brownfields Cleanup Grants for three lots along the Delaware River Backchannel that were part of the former landfill. This funding would amount to \$200,000 per site and be used to conduct remediation activities including possible stream bank restoration. The \$600,000 in EPA funding will not cover the remaining remediation budget, which will be in the millions.

Mr. Harveson then addressed the assessment and revolving loan fund (RLF) grants, which will work hand-in-hand by in part targeting neighborhoods previously targeted by the CRA's HUD Neighborhood Stabilization Program 2 (NSP2) grant. The RLF will coincide with the NSP2 grant's second generation income, which may be used as the match to the RLF. The assessment funding would be used to conduct site investigations, and the RLF funding would be used for fund remediation activities. It is expected that some of the sites' interim reuses may include community gardens and greenspace.

The meeting adjourned at 6:00pm.

Comments

No comments were received regarding the EPA Brownfields grant applications, and all attendees were supportive of seeking the additional funding.

Summary of Public Meeting /Solicitation off Public Comments for the Cleanup of the Andujar Park Site

12 November 2020

5:30pm to 6:30pm

Via Zoom

Attendees:

Residents: Felicia Reyes-Morton (City Council Member), Shirley Izizarry, Eliot Rojas, Josie Ocasio, Lisa Medina, Deb Burgos, Amy Andujar

Trust for Public Land (TPL): Danielle Denk, Elizabeth Class-Maldonado

Coopers Ferry Partnership (CFP): Sarah Bryant, Brian Bauerle

Camden Redevelopment Agency: Olivette Simpson

NJDEP: Armando Alfonso

Camden County: Jeff Nash

NJ Tree Foundation: Meredith Brown

BRS: Michele Christina

Project Overview:

Project Overview was provided by Danielle Denk (TPL). Offer was made to conduct meeting in bilingual manner, but no one required translation services.

Phase I Construction – South Park Area:

Presentation by Danielle Denk (TPL). Prior community outreach/feedback regarding playground areas for the southern portion was summarized. The playground equipment, fitness equipment and recreation improvements were described. Construction mobilization timeframe options were presented and discussed. Consensus was to wait until next year after winter weather to start construction on the South Park Area.

Environmental Update:

Presentation by Michele Christina (BRS on behalf of CRA). Overview of assessment work conducted to date indicated that no active remediation required in south park area. North park area contains a large underground storage tank containing petroleum product, hot spot soil contamination from prior site operations (PCBs and chromium contamination) and historic fill. Additional assessment work will be conducted at the site to delineate contamination and assess whether there is a groundwater issue. Cleanup will be conducted in two Phases: first phase is to remove tank and hot spot soil contamination; second phase will be done later in conjunction with County's construction of the ballpark improvements. The second phase will involve constructing a soil cap over the historic fill to prevent exposure of park users.

Phase II – North Park Area

Presentation by Sarah Bryant (CFP). CFP has been hired by the County to assist with park improvements at seven Camden parks. A contract for design of the north park area will be awarded in December, with

a kick off likely to occur in January. Can't say for sure how long the design process will take, but its expected to be four to six months. During that time additional community meetings will be held to get ideas and feedback of what residents want to see at the park. A conceptual layout was shown based on prior feedback. Will be able to provide a construction timeline once the design work is further along.

Community Questions:

Community Question 1: Can you explain more about what is historic fill?

Response: Historic fill is fill material that was usually brought into a site to backfill low areas, raise elevations, etc. Sometimes its material that is spread on site from a cycle of construction/demolition. It usually has low levels of contamination. Contamination from historic fill is usually not a result of site operations.

Community Question 2: Can you explain more about the groundwater?

Response: Groundwater hasn't been sampled yet at the site, so we aren't sure if its contaminated. But shallow groundwater in the City usually is and requires something called a CEA to address it. This means that groundwater can't be used for drinking water (NO one is drinking water this shallow groundwater in the city), will be monitored as it naturally cleanups up and to make sure it isn't getting worse. We expect to see some groundwater contamination with the underground storage tank. Once that tank is removed along with some contaminated soil, the groundwater should start to cleanup. We'll know more once the additional assessment work is conducted.

Community Question 3: What is the timeframe for doing the assessment work?

Response: The CRA is using two different funding sources to address the environmental issues: one is federal and one is state. We are hoping that the State funding gets approved at the December EDA board meeting. This would mean that you should see people out at the site collecting samples probably sometime in the spring.

Additional discussion and public comments occurred regarding the park use and improvements being made to other parks in the City. Residents supported the work and were interested in being involved in follow up meetings and discussions for park development. Dominick Andujar's mother was acknowledged and thanked for her attendance on the call.

A copy of the meeting presentation follows.

Hey North Camden! Hola North Camden!

Your vision for Dominick Andujar Park is
about to come true! Join us to learn more!

¡Tu visión para el parque Dominick Andujar está a punto
de hacerse realidad! ¡Únete a nosotros para aprender mas!



Where/Donde: <https://tpl.zoom.us/j/91601611709>

When/Cuando: November 12th at 5:30 PM / 12 de noviembre a las 5:30 pm

Contact/Contacto: danielle.denk@tpl.org

Interpretation Available / Habrá traductor para español

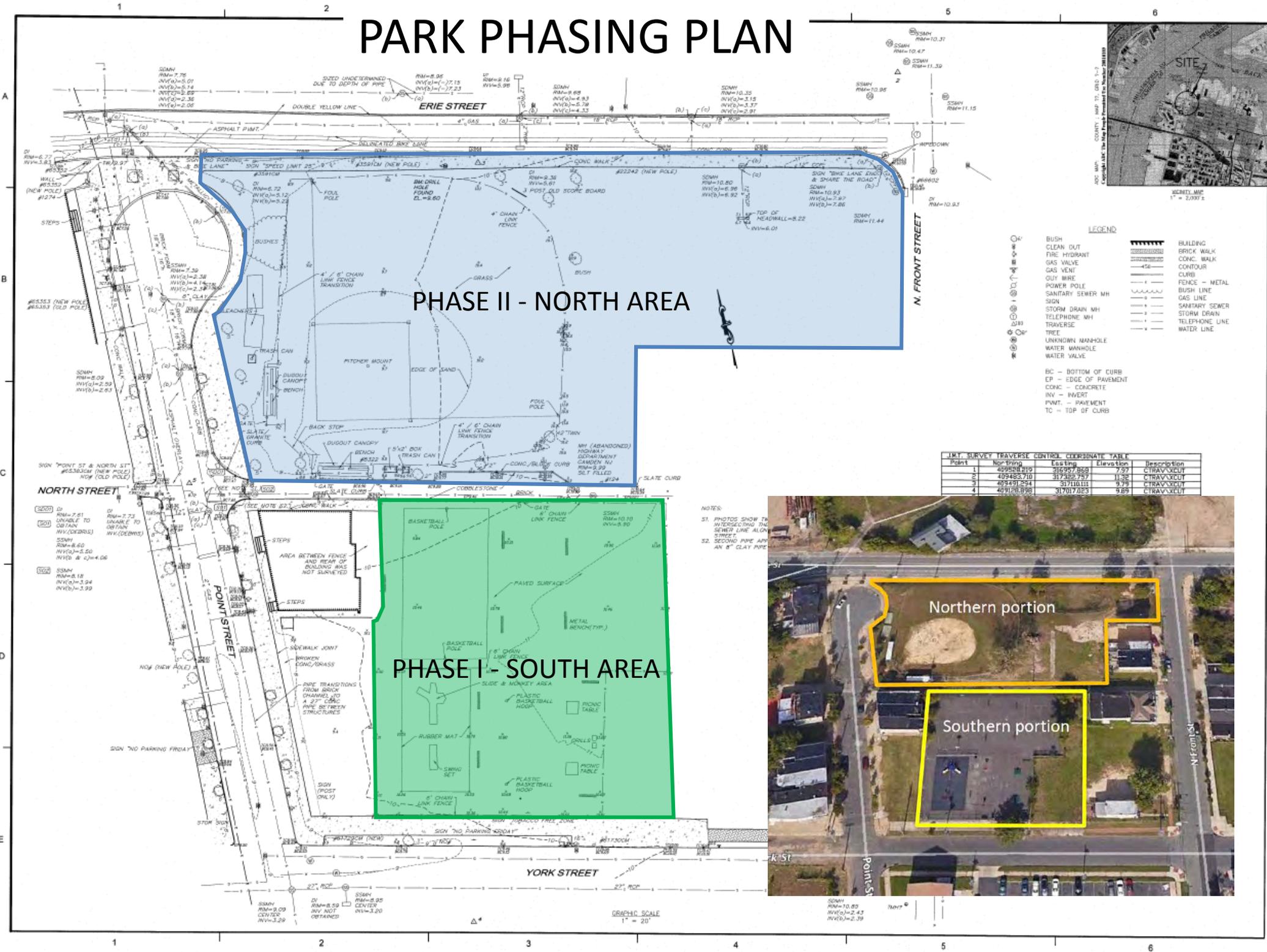
Dominick Andujar Park Community Meeting

Agenda

- Welcome + Introductions – Felisha Reyes, North Camden Little League
- Project Overview – Danielle Denk, TPL
- Phase I – South Park Area – Danielle Denk, TPL
- Environmental Update – Michele Christina, CRA
- Phase II – North Park Area – Sarah Bryant, Coopers Ferry Partnership
- Q + A

*Spanish Interpretation by Elizabeth Class-Maldonado, TPL

PARK PHASING PLAN



PHASE II - NORTH AREA

PHASE I - SOUTH AREA

- LEGEND**
- BUSH
 - CLEAN OUT
 - FIRE HYDRANT
 - GAS VALVE
 - GAS VENT
 - GUY WIRE
 - POWER POLE
 - SANITARY SEWER MH
 - SIGN
 - STORM DRAIN MH
 - TELEPHONE MH
 - TRAVERSE
 - TREE
 - UNKNOWN MANHOLE
 - WATER MANHOLE
 - WATER VALVE
 - BUILDING
 - BRICK WALK
 - CONC. WALK
 - CONTOUR
 - CURB
 - FENCE - METAL
 - BUSH LINE
 - GAS LINE
 - SANITARY SEWER
 - STORM DRAIN
 - TELEPHONE LINE
 - WATER LINE
- BC - BOTTOM OF CURB
 EP - EDGE OF PAVEMENT
 CONC - CONCRETE
 INV - INVERT
 PAVT - PAVEMENT
 TC - TOP OF CURB

LIMIT SURVEY TRAVERSE CONTROL COORDINATE TABLE

Point	Northing	Easting	Elevation	Description
1	40958.005	31637.868	7.97	CTRAV.XCUT
2	40948.710	31735.737	11.38	CTRAV.XCUT
3	40949.294	31710.111	9.79	CTRAV.XCUT
4	40918.998	31707.083	9.89	CTRAV.XCUT

- NOTES**
- PHOTOS SHOW THE INTERSECTING AND SEWER LINE ALONG STREET.
 - SECOND PIPE APP. AN 8" CLAY PIPE

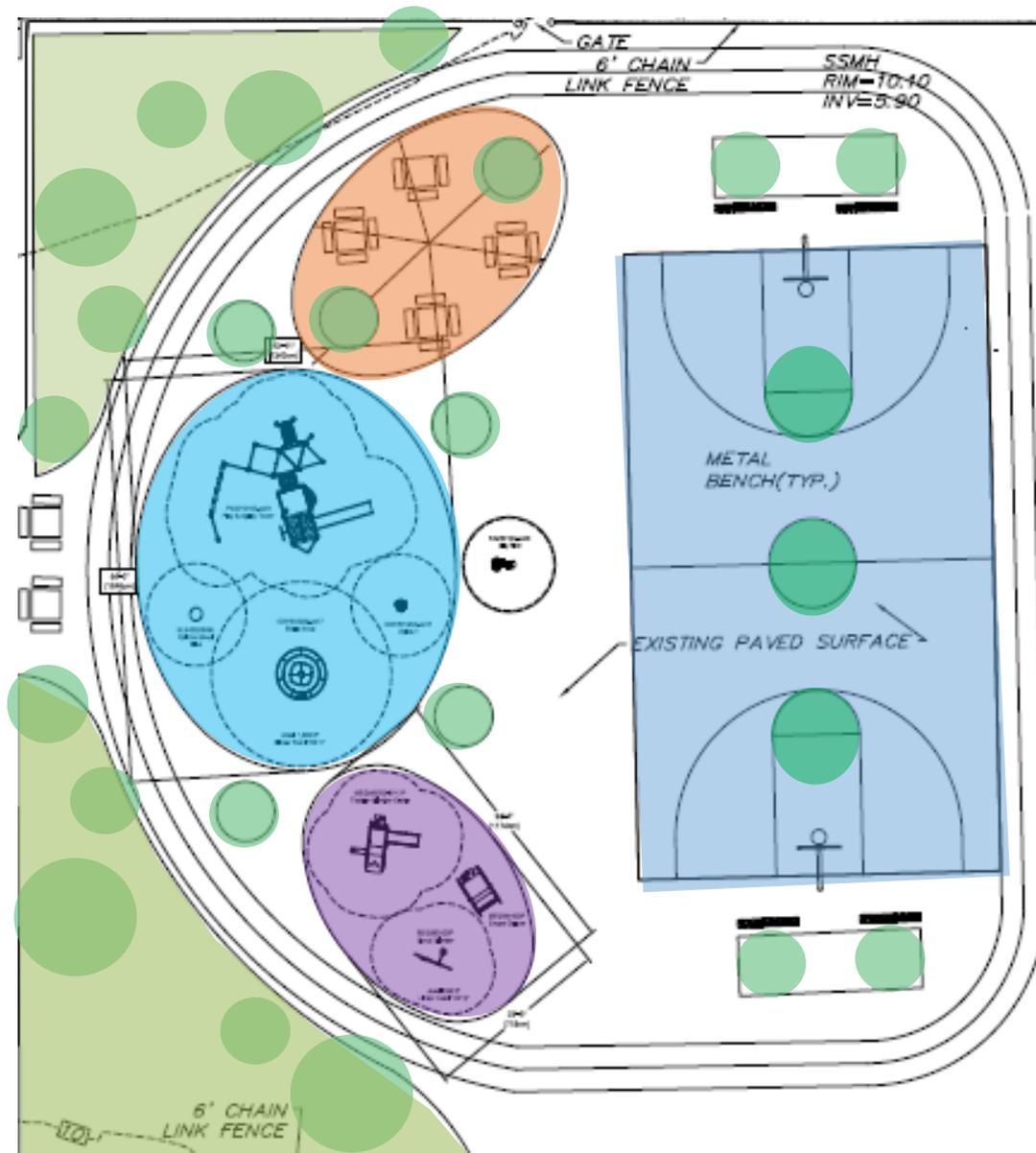


Northern portion

Southern portion

GRAPHIC SCALE
1" = 20'

Dominick Andujar Park – Phase I (South Side)



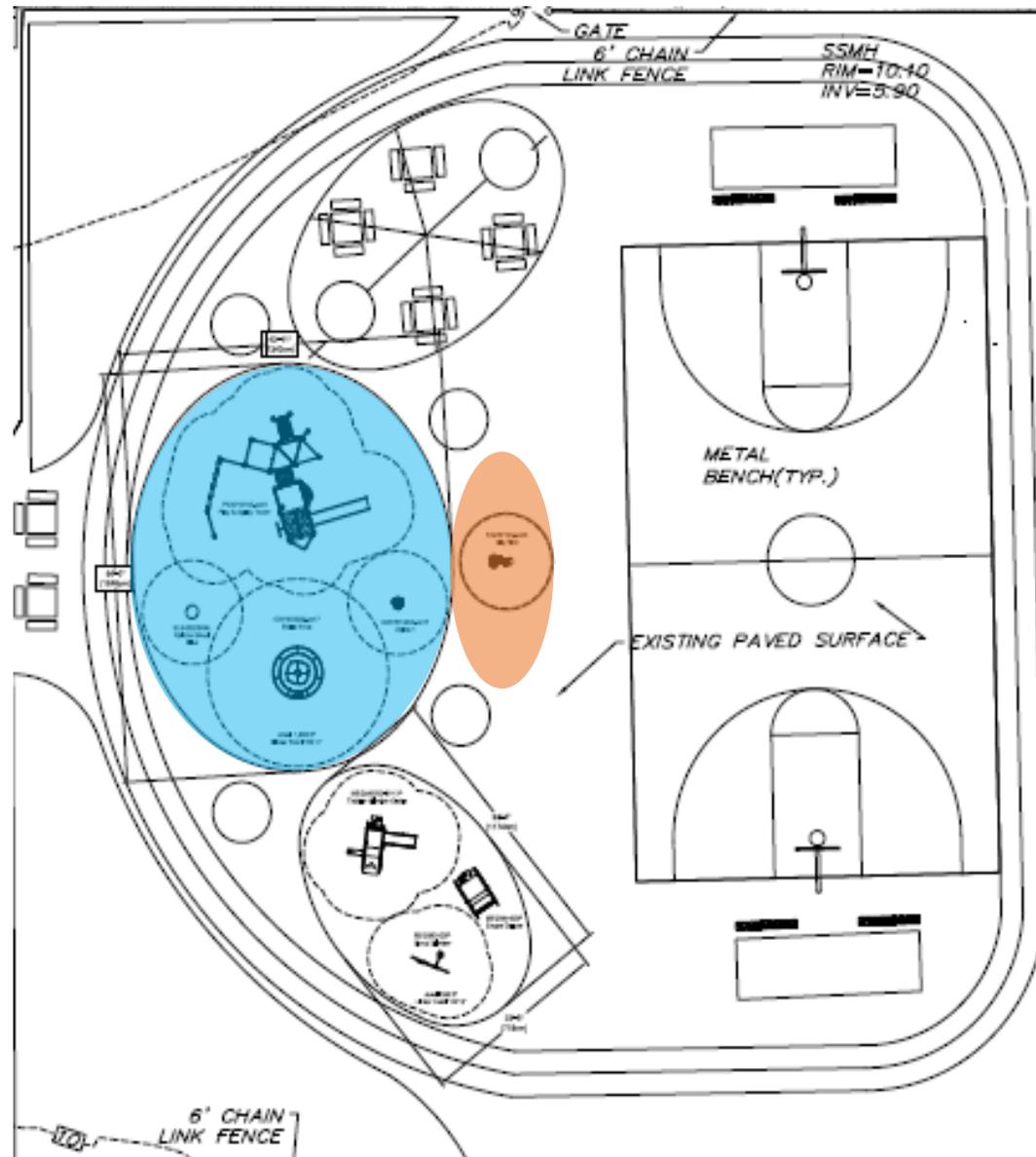
Based on community design vision, the South Park, Phase I, includes the following features:

- Playground for 5-12
- Playground for 2-5
- Fitness Bike
- Fitness track
- Basketball Court
- Shaded seating
- Picnic Area
- Trees

Raingardens, shown in green here, will come in Phase II. Phase II will also include:

- Softball/Tee Ball
- Soccer Field
- Walking Trails
- Raingardens

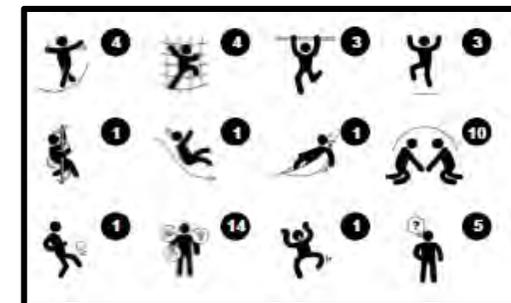
5-12 Play Area



5-12 Play Area

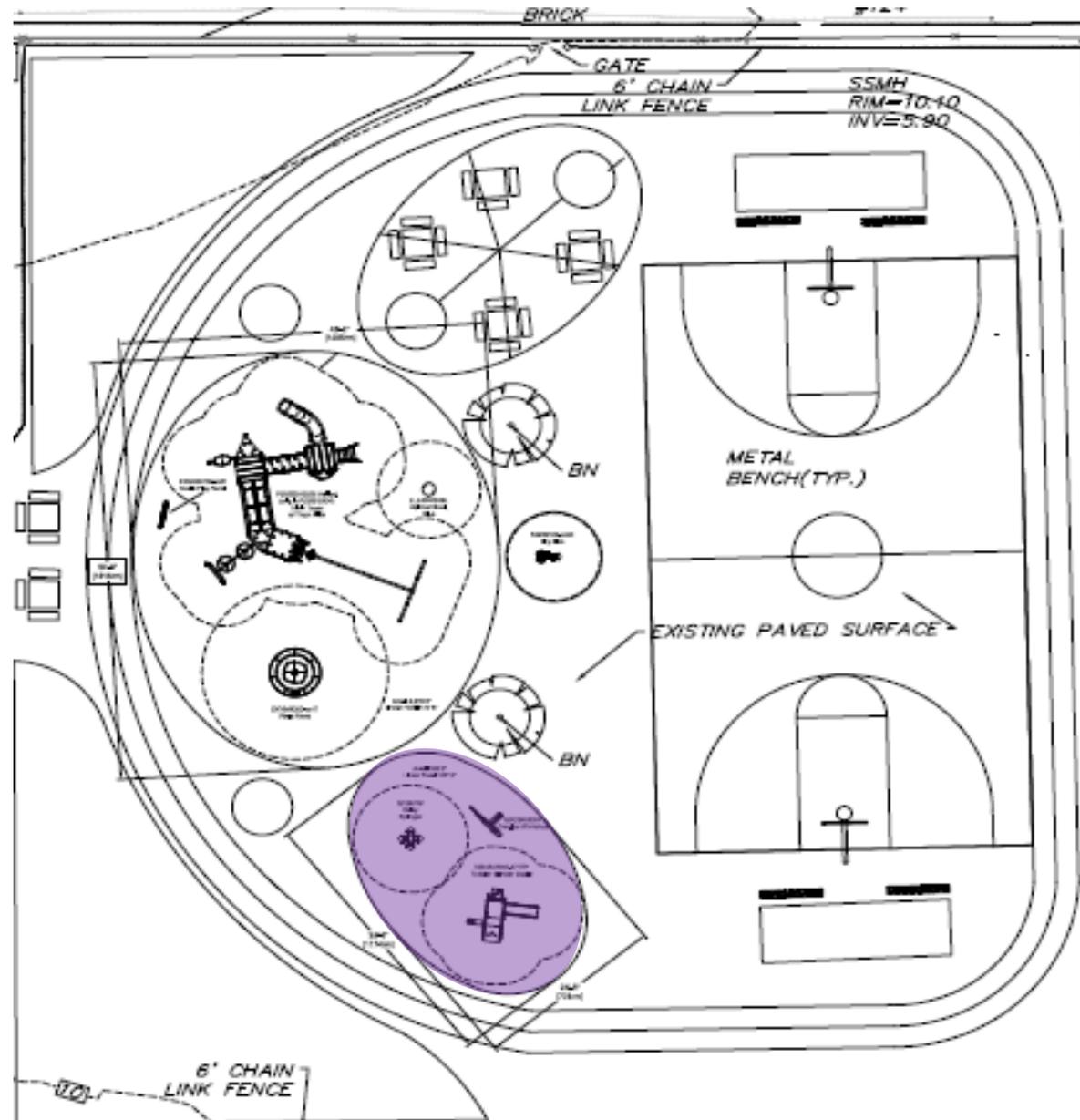
Hercules – Van Cortland

Lime Green
Dark Blue



Item no. PCX210100-0901	
General Product Information	
Dimensions LxWxH	17'11" x 21'9" x 12'7"
Age Group	5-12
Play Capacity	34 children
Color Options	  

2-5 Play Area

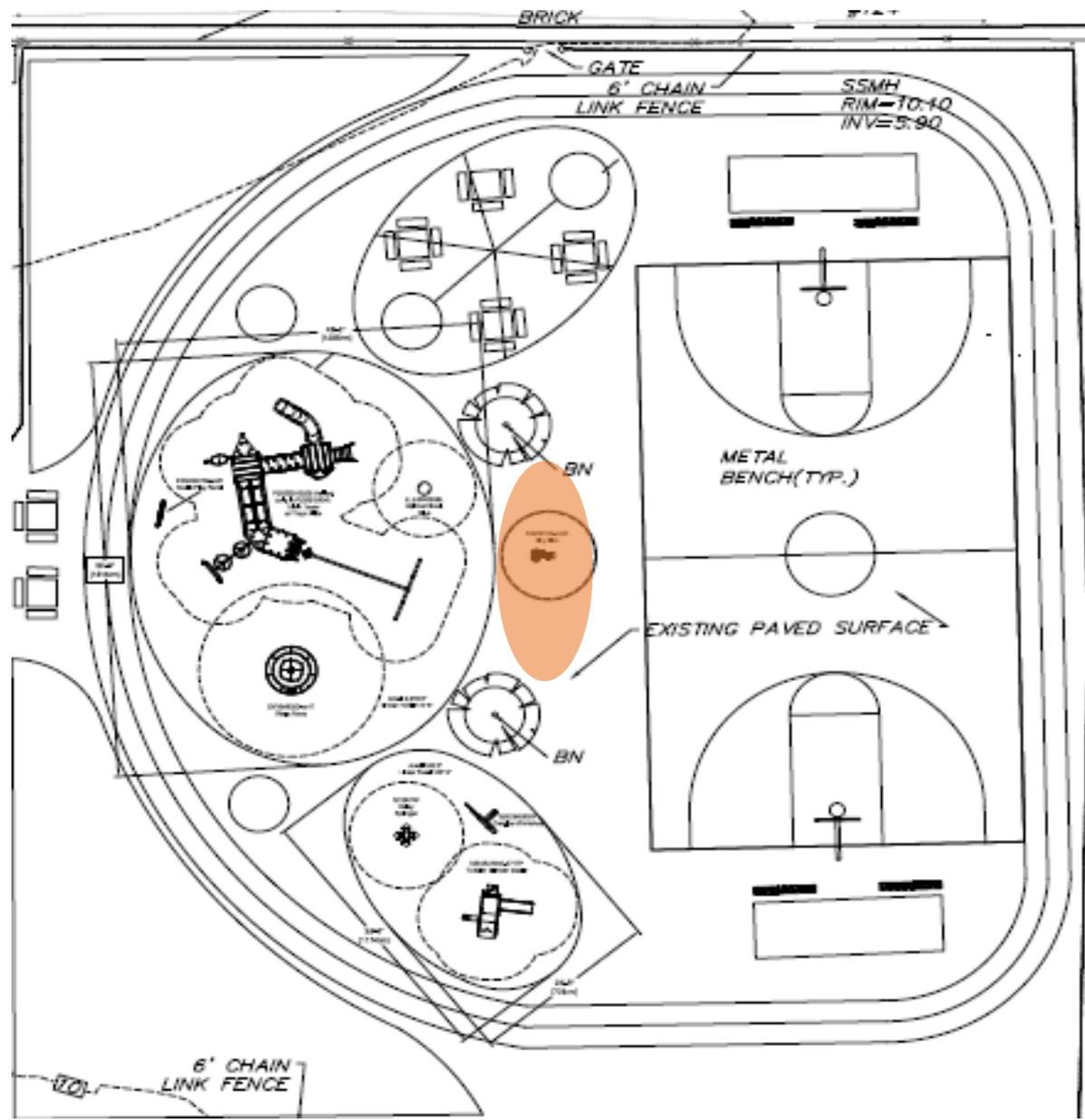


2-5 Play Area

Mega Tower, Springer



Lime Green
Dark Blue



Fitness Zone[®]

3 City Bikes



2 Cross Trainers



- Durable Construction
- Smartphone mounting
- Free Health Tracking App
- Feedback & Data for users
- Bluetooth



Phase 1 Construction Schedule

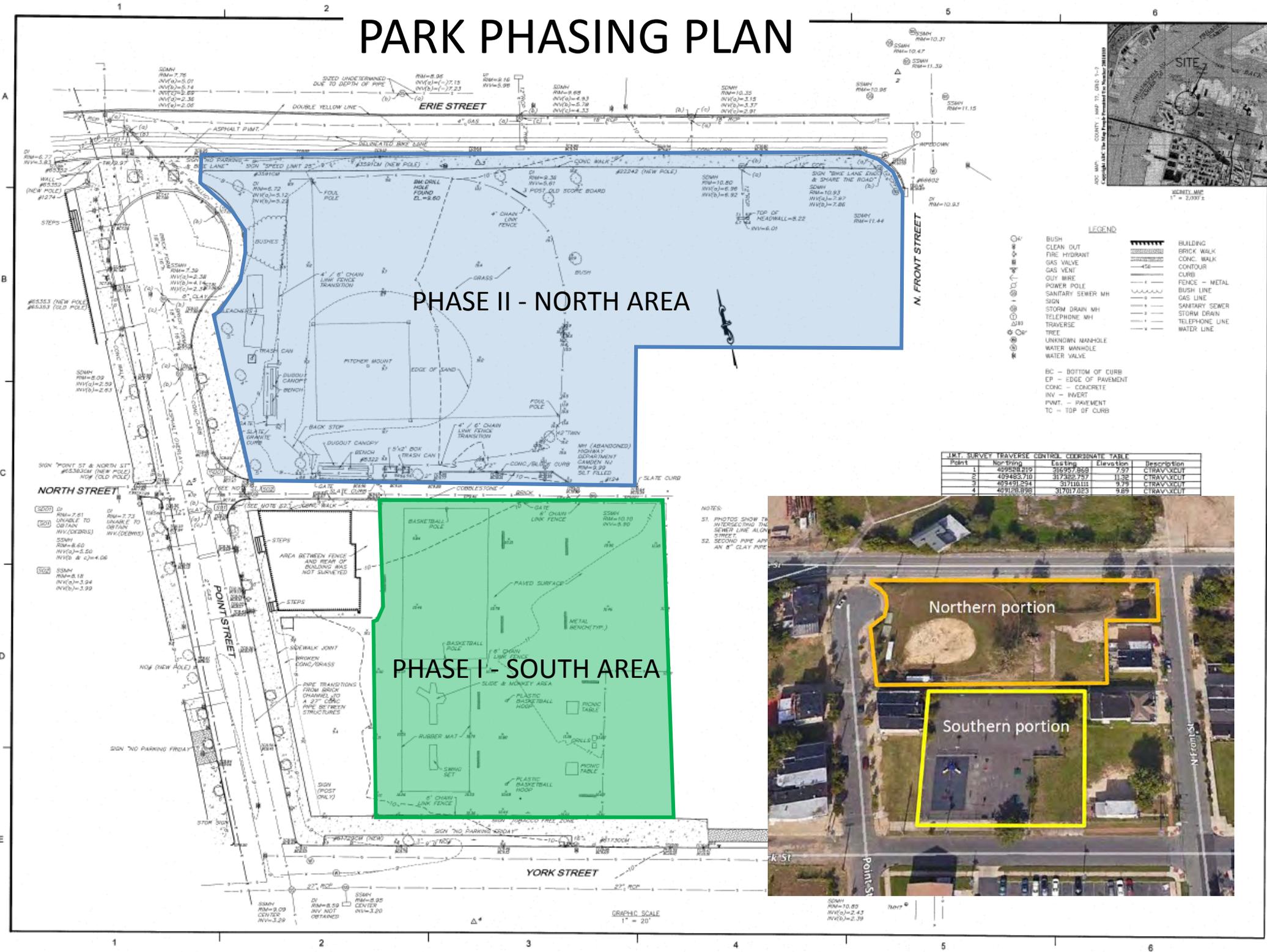
OPTION 1

- Mobilize in late November
- Construction lasts through April/May
- Disruption for 5+ months

OPTION 2

- Mobilize in February
- Construction lasts through April/May
- Disruption for 3+ months

PARK PHASING PLAN



- LEGEND**
- BUSH
 - CLEAN OUT
 - FIRE HYDRANT
 - GAS VALVE
 - GAS VENT
 - GUY WIRE
 - POWER POLE
 - SANITARY SEWER MH
 - SIGN
 - STORM DRAIN MH
 - TELEPHONE MH
 - TRAVERSE
 - TREE
 - UNKNOWN MANHOLE
 - WATER MANHOLE
 - WATER VALVE
 - BUILDING
 - BRICK WALK
 - CONC. WALK
 - CONTOUR
 - CURB
 - FENCE - METAL
 - BUSH LINE
 - GAS LINE
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 - TELEPHONE LINE
 - WATER LINE
- BC - BOTTOM OF CURB
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 CONC - CONCRETE
 INV - INVERT
 PAVT - PAVEMENT
 TC - TOP OF CURB

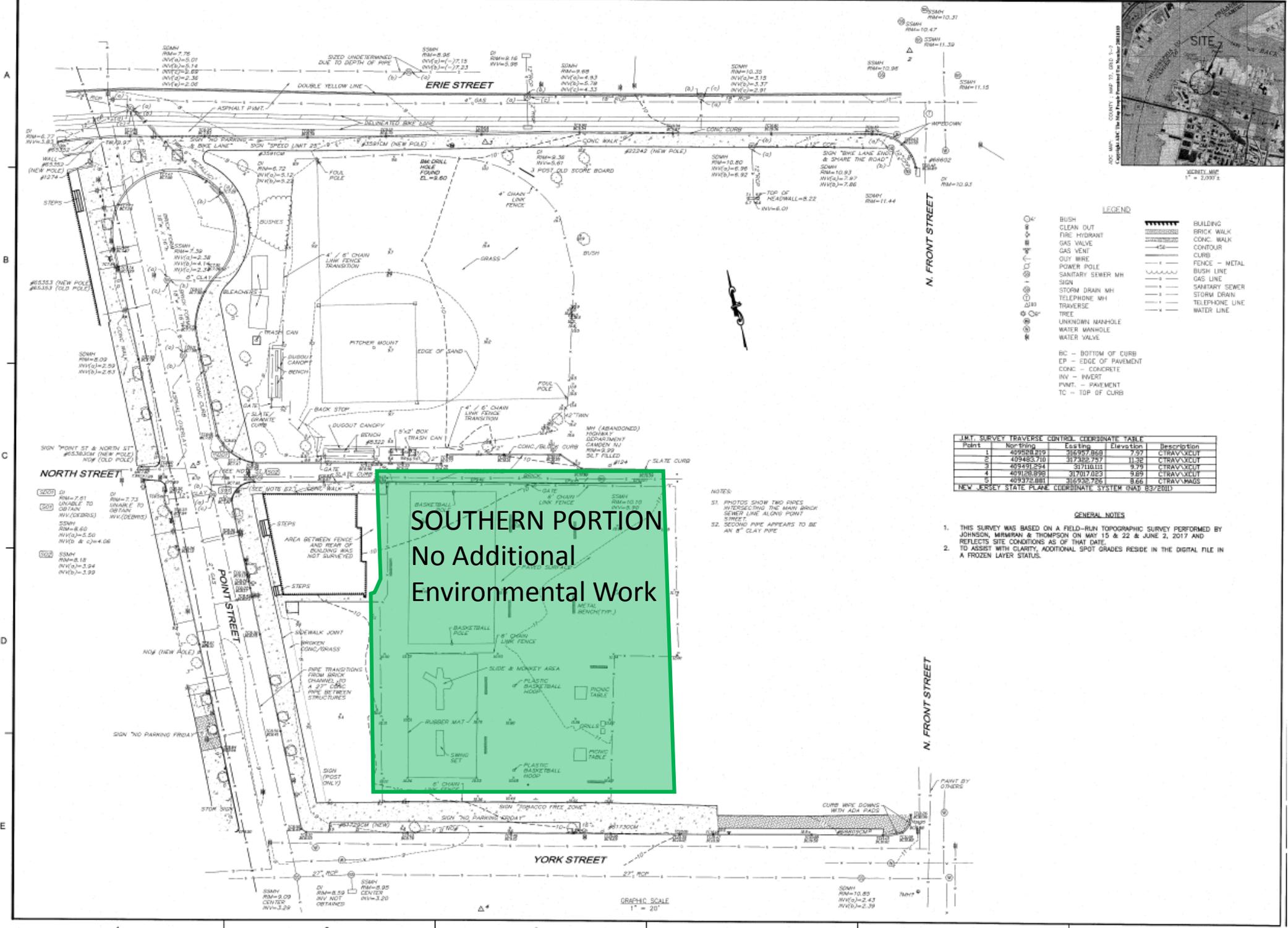
LIMIT SURVEY TRAVERSE CONTROL COORDINATE TABLE

Point	Northing	Easting	Elevation	Description
1	40958.005	31637.868	7.97	CTRAV.XCUT
2	40948.710	31745.747	11.38	CTRAV.XCUT
3	40949.294	31710.111	9.79	CTRAV.XCUT
4	40918.998	31707.083	9.89	CTRAV.XCUT

NOTES:
 01. PHOTOS SHOW THE INTERSECTING AND SEWER LINE ALONG STREET.
 02. SECOND PIPE APP. AN 8" CLAY PIPE



GRAPHIC SCALE
 1" = 20'



LEGEND

○	BUSH	▬	BUILDING
○	CLEAN OUT	▬	BRICK WALK
○	FIRE HYDRANT	▬	CONC. WALK
○	GAS VALVE	▬	CONTOUR
○	GAS VENT	▬	CLMB
○	GUY WIRE	▬	FENCE - METAL
○	POWER POLE	▬	BUSH LINE
○	SANITARY SEWER MH	▬	GAS LINE
○	SIGN	▬	SANITARY SEWER
○	STORM DRAIN MH	▬	STORM DRAIN
○	TELEPHONE MH	▬	TELEPHONE LINE
○	TRVERSE	▬	WATER LINE
○	TREE		
○	UNKNOWN MANHOLE		
○	WATER MANHOLE		
○	WATER VALVE		

BC - BOTTOM OF CURB
 EP - EDGE OF PAVEMENT
 CONC - CONCRETE
 INV - INVERT
 PWMT. - PAVEMENT
 TC - TOP OF CURB

LIMIT SURVEY TRAVERSE CONTROL COORDINATE TABLE

Point	Northing	Easting	Elevation	Description
1	49958819	31697.868	7.57	CTRAV.XCUT
2	499483710	31735.757	11.52	CTRAV.XCUT
3	499491294	31710.111	9.76	CTRAV.XCUT
4	49918898	31701.703	9.89	CTRAV.XCUT
5	499372181	31693.752	8.66	CTRAV.MAGS

NEW JERSEY STATE PLANNING COORDINATE SYSTEM (NAD 83/2011)

NOTES

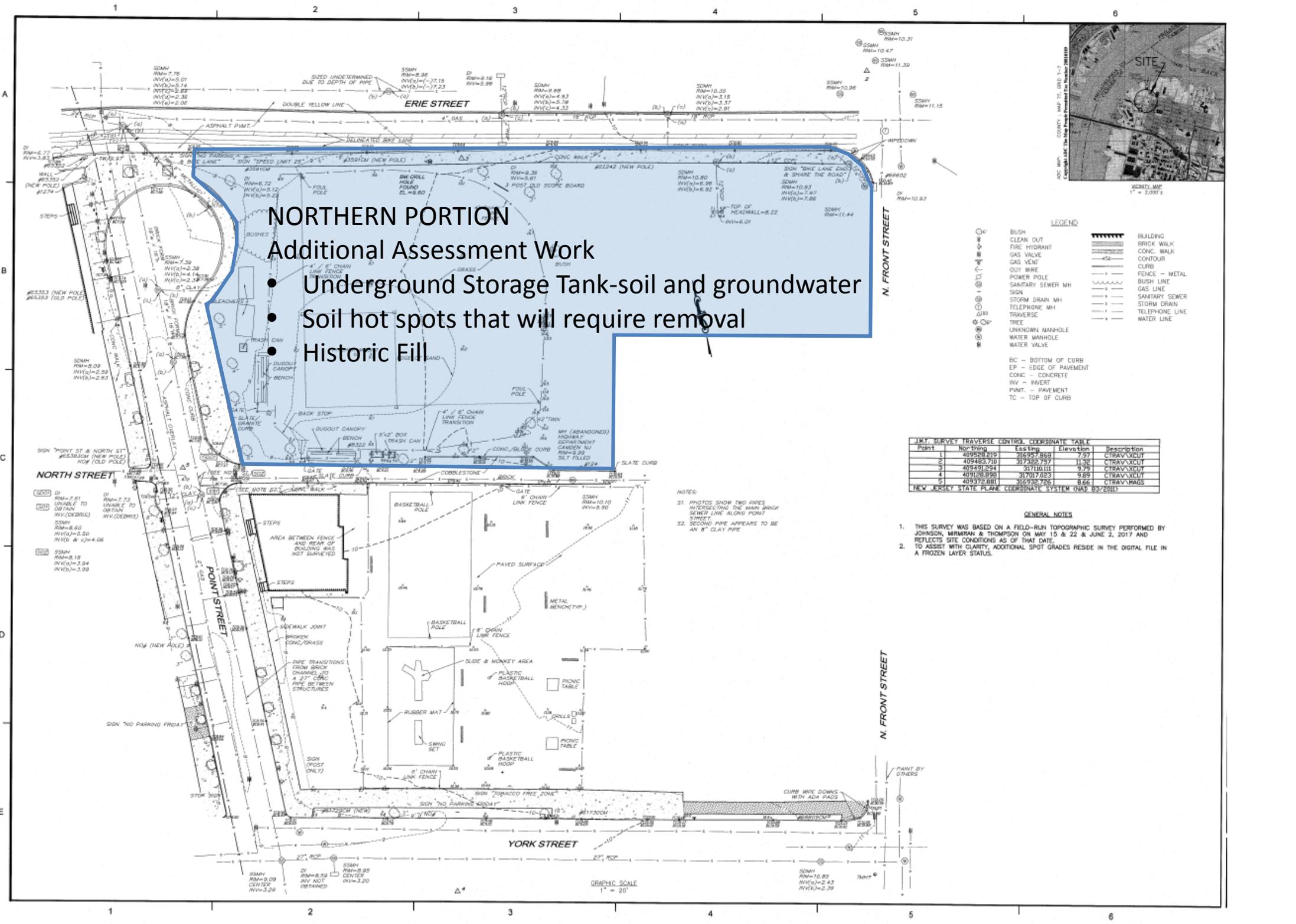
- PHOTOS SHOW TWO PIPES INTERSECTING THE MAIN BRICK SEWER LINE ALONG POINT STREET.
- SECOND PIPE APPEARS TO BE AN 8" CLAY PIPE.

SOUTHERN PORTION
No Additional
Environmental Work

GENERAL NOTES

- THIS SURVEY WAS BASED ON A FIELD-RUN TOPOGRAPHIC SURVEY PERFORMED BY JOHNSON, MIRMIRAN & THOMPSON ON MAY 15 & 22 & JUNE 2, 2017 AND REFLECTS SITE CONDITIONS AS OF THAT DATE.
- TO ASSIST WITH CLARITY, ADDITIONAL SPOT GRADES RESIDE IN THE DIGITAL FILE IN A FROZEN LAYER STATUS.

GRAPHIC SCALE
1" = 20'



NORTHERN PORTION Additional Assessment Work

- Underground Storage Tank-soil and groundwater
- Soil hot spots that will require removal
- Historic Fill



LEGEND

○	BUSH	▬▬▬▬▬	BUILDING
○	CLEAN OUT	▬▬▬▬▬	BRICK WALK
○	FIRE HYDRANT	▬▬▬▬▬	CONC. WALK
○	GAS VALVE	▬▬▬▬▬	CONTOUR
○	GAS VENT	▬▬▬▬▬	CLUB
○	GUY WIRE	▬▬▬▬▬	FENCE - METAL
○	POWER POLE	▬▬▬▬▬	BUSH LINE
○	SANITARY SEWER MH	▬▬▬▬▬	GAS LINE
○	SIGN	▬▬▬▬▬	SANITARY SEWER
○	STORM DRAIN MH	▬▬▬▬▬	STORM DRAIN
○	TELEPHONE MH	▬▬▬▬▬	TELEPHONE LINE
○	TRAVERSE	▬▬▬▬▬	WATER LINE
○	TREE		
○	UNKNOWN MANHOLE		
○	WATER MANHOLE		
○	WATER VALVE		

BC - BOTTOM OF CURB
 EP - EDGE OF PAVEMENT
 CONC - CONCRETE
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 PAVT. - PAVEMENT
 TC - TOP OF CURB

LMT SURVEY TRAVERSE CONTROL COORDINATE TABLE

Point	Northing	Easting	Elevation	Description
1	409588219	316977968	7.97	CHAV.XCUT
2	409483710	317385737	11.38	CHAV.XCUT
3	409491294	317111111	9.79	CHAV.XCUT
4	409168988	317017023	9.89	CHAV.XCUT
51	409372401	316932782	8.66	CHAV.PAGS

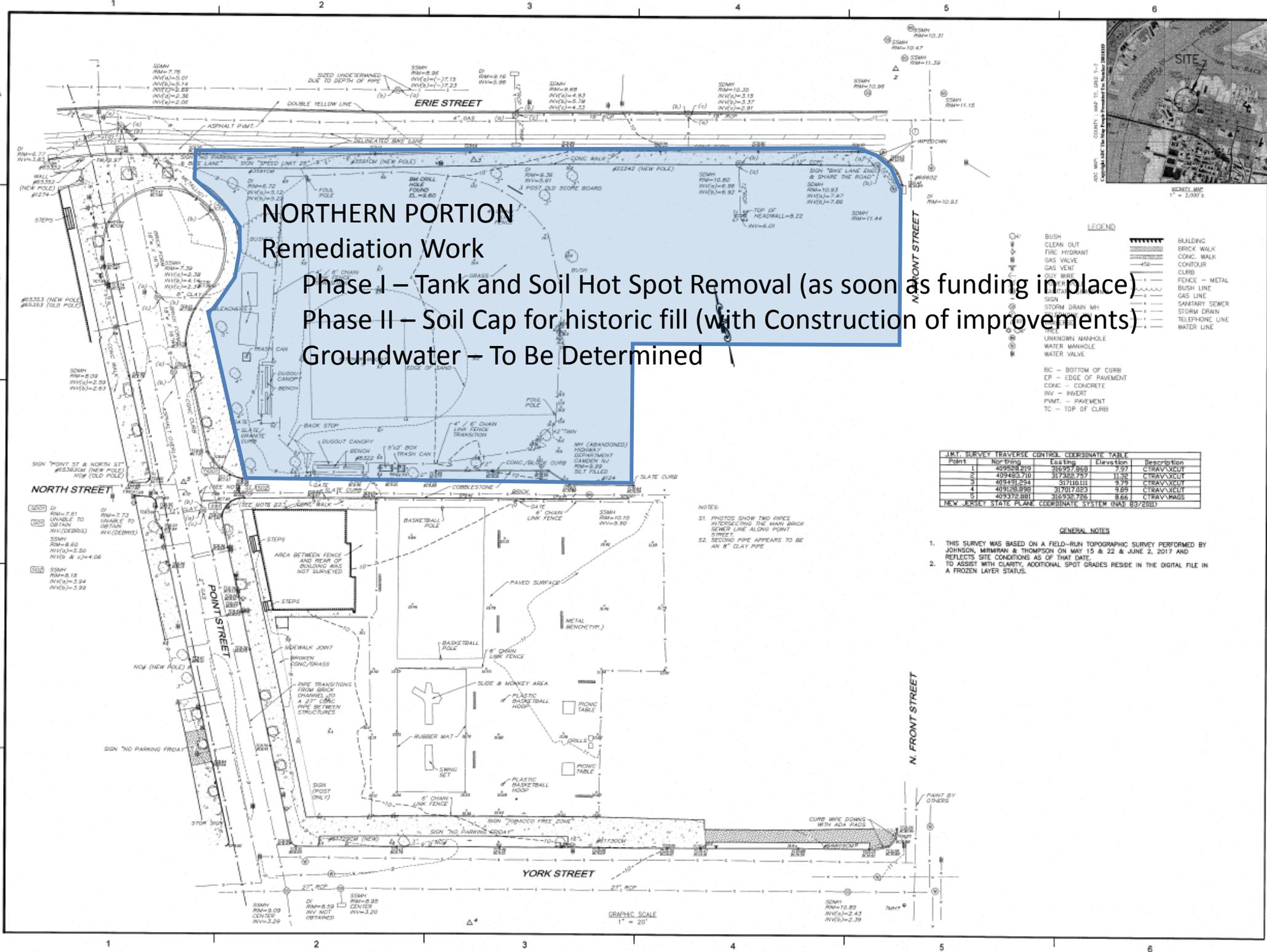
NEW JERSEY STATE PLANE COORDINATE SYSTEM NAD 83/2011

- GENERAL NOTES**
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 2. TO ASSIST WITH CLARITY, ADDITIONAL SPOT GRADES RESIDE IN THE DIGITAL FILE IN A FROZEN LAYER STATUS.

NOTES

1. PHOTOS SHOW TWO PIPES INTERSECTING THE MAIN BRONX SEWER LINE ALONG POINT STREET.
2. SECOND PIPE APPEARS TO BE AN 8" CLAY PIPE.

GRAPHIC SCALE
1" = 20'



NORTHERN PORTION
 Remediation Work
 Phase I – Tank and Soil Hot Spot Removal (as soon as funding in place)
 Phase II – Soil Cap for historic fill (with Construction of improvements)
 Groundwater – To Be Determined



- LEGEND**
- BUSH
 - CLEAN OUT
 - ⊕ FIRE HYDRANT
 - ⊕ GAS VALVE
 - ⊕ GAS VENT
 - ⊕ GUY WIRE
 - ⊕ SIGN
 - ⊕ SIGN "ONE LANE ROAD & SHARE THE ROAD"
 - ⊕ STORM DRAIN MH
 - ⊕ TRAIL
 - ⊕ UNKNOWN MANHOLE
 - ⊕ WATER MANHOLE
 - ⊕ WATER VALVE
 - ▬ BUILDING
 - ▬ BRICK WALK
 - ▬ CONC. WALK
 - ▬ CONTOUR
 - ▬ CURB
 - ▬ FENCE - METAL
 - ▬ BUSH LINE
 - ▬ GAS LINE
 - ▬ SANITARY SEWER
 - ▬ STORM DRAIN
 - ▬ TELEPHONE LINE
 - ▬ WATER LINE
- BC - BOTTOM OF CURB
 EP - EDGE OF PAVEMENT
 CONC - CONCRETE
 INV - INVERT
 PAVT. - PAVEMENT
 TC - TOP OF CURB

LMT SURVEY TRAVERSE CONTROL CHECKSHEET TABLE

Point	Northing	Easting	Elevation	Description
1	489888199	316977.968	7.97	CHRAV.XLDT
2	489483710	317385.787	11.38	CHRAV.XLDT
3	489491294	317111.111	9.79	CHRAV.XLDT
4	489186988	317017.023	9.89	CHRAV.XLDT
5	489372.811	316935.755	8.66	CHRAV.PRGS

NEW JERSEY STATE PLANE COORDINATE SYSTEM MAY 83/2011

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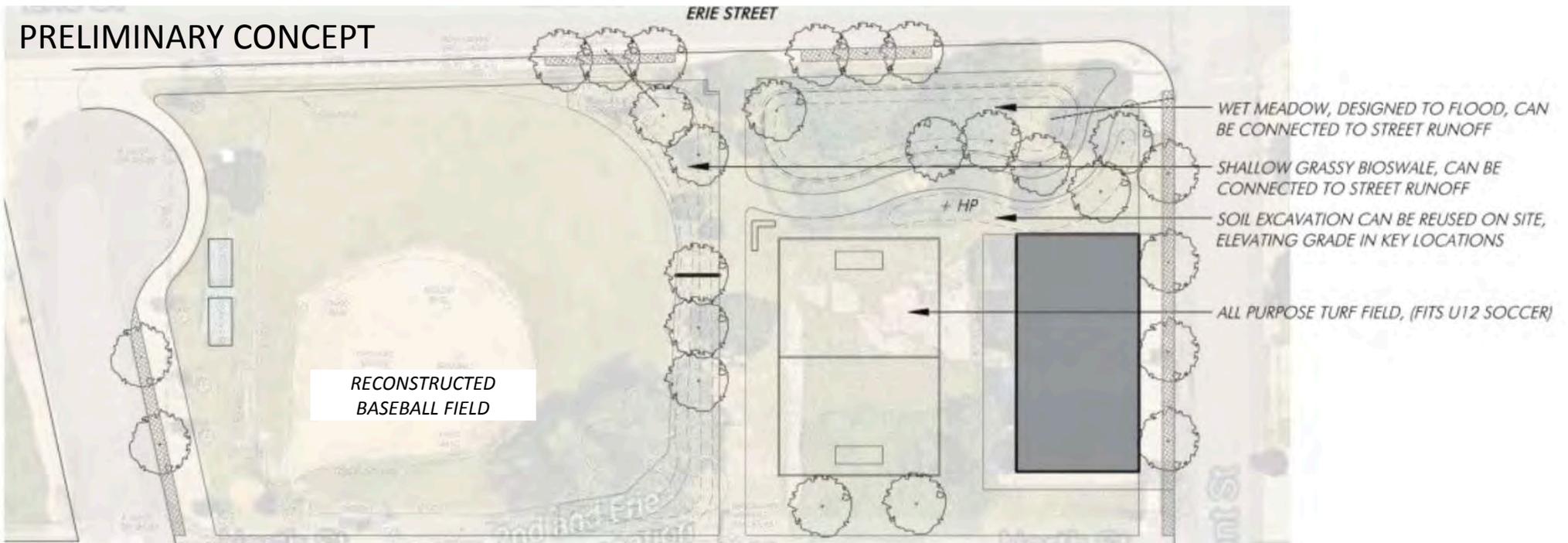
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GRAPHIC SCALE
1" = 20'

Phase II- North Park Area- Update



PRELIMINARY CONCEPT



Q + A

